

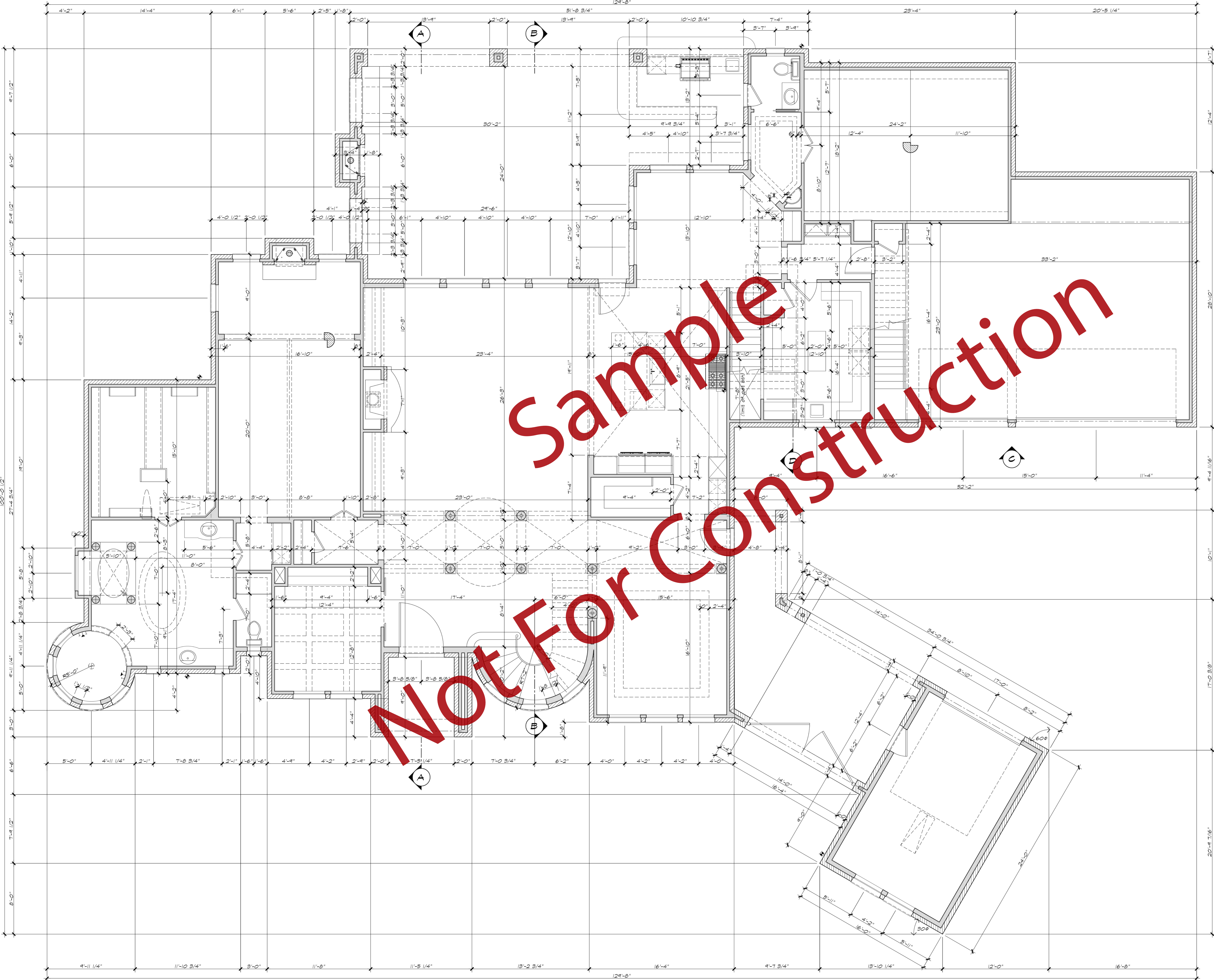
Sample
Not For Construction

ROYAL CREST

- | | |
|---|--|
| A1 - FIRST FLOOR DIMENSION PLAN | A6 - SECOND FLOOR LIGHTING & ELECTRICAL PLAN |
| A2 - SECOND FLOOR DIMENSION PLAN | A7 - FRONT & REAR ELEVATIONS |
| A3 - FIRST FLOOR NOTATION PLAN | A8 - LEFT & RIGHT SIDE ELEVATIONS |
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| A5 - FIRST FLOOR LIGHTING & ELECTRICAL PLAN | A10 - ROOF PLAN |

DATE:
09/14/2022
PLAN NO.
MOSLEY
ROYAL CREST
SHEET NO.

COVER



GENERAL NOTES
(Where applicable)

- * All exterior walls to be 2x4, 2x6, 2x8, or other as noted, @16" O.C. w/ 1/2" plywood sheathing, w/ water vapor barrier, unless noted otherwise. (Blocked @ Mid span) & as per code.
- * Interior walls, 2x4 @ 16" O.C. unless noted otherwise. (Blocked @ Midspan), all plumbing walls to be 2x6.
- * All metal fireplaces to be top of the line - double lined (min. code per builder) & as selected by owner.
- * All shelving to be 3/4" plywood supported at edges 4 or 4' O.C. (Backshelves to have hidden "Recess" lighting - optional)
- * All closets to have at least one single rod & two shelves, unless noted otherwise, w/ rods to top hardware. Must have 2 rods, 2 or 3 shelves, or more as per builder.
- * All exterior doors, garage, and attic doors to be weather stripped.
- * All baths, utility, water heater, & pony walls to have full insulation. (Garage common walls and ceiling, when living space above)
- * Kitchen cabinet tops to be finished, corian or stone w/ mugs edges as selected. Kitchen cabinets to have compound hinges, edged shelves, solid panels, "Blum" type guides, special hardware, water counter lighting, all sink w/dispenser, down-draft cook top (w/ optional burners & w/grill) as selected. Refrigerator to have water supply w/valve-off. All plugs to be GFI. (As required by code.)
- * Stairs to have (optional) step lights as selected, continuous handrails w/ 1/2" grip & 36" high, 1" nosing w/4" clear spacing. Squares to be 42" high.
- * All bath vanities to be marble or stone (w/ optional porcelain bowls). Verify heights from 32" to 36". All drawers and cabinet shelves to be lined. Verify w/ builder.
- * Linens to have hamper and drawer caulked, lined, waterproofed & vented for moisture. (Medicine cabinets as selected.)
- * Ridges and valleys are to be spaced down to proper support, on through to foundation support.
- * Ridges and valleys over 12" to be 2x12, unless noted otherwise. Ends to be cut to frame out windows. (See builder/engineer.)
- * Garage ceiling under stairs, water heaters & chimney drywall to be 5/8" X-sheetrock.
- * All ceiling corners at main rooms to have molding. (Verify mid. pkg.)
- * Closest garage corner windows to have optional shears. (Some with special lighting.)
- * Windows to be wood or metal, double pane insulated - shown in general notes, w/ water caulking & head flashing where required. (See builder.)
- * Windowsills & casing to be wood, stone, marble, or drywall.
- * All main drywall corners to have Bull-Nose. (Optional)
- * Connect gutters and down spouts to an underground drainage piping system. (Verify w/ owner and builder/engineer.)
- * All brick arches & designs w/ reinforcing & w/ type "S" mortar. Brick columns to have treated wood post centers, or steel as shown. Wood columns to be set on anchored metal pinto & nail ties to brick.
- * All brick support over roofs to be designed by a Registered Texas Structural Engineer, as well as other structural members and assemblies.
- * All yard hydrants to be freeze protected.
- * Provide high "R" ratings for all attic floors & walls. (Optional)
- * All gas appliances to have code vents.
- * All water piping, condensate drains, water heaters or storage in the attic to be freeze protected and insulated. Attic water heaters to have metal pans w/drains.
- * A/C ducts should be routed around most usable attic space.
- * Dryer vents to be outside.
- * Ceiling joists to be sized for 3/4" plywood flooring in attic as directed by builder. Stud wall support below must be sized for proper support.
- * Radiant barriers are optional.
- * Uniform cornice vents in entire perimeter, screened w/insulation baffled for air flow.
- * Thermostatically controlled roof vents as per mfg's recommendations, to be low rise & color coded to roof materials.
- * Framing members shown are suggested minima. Engineering design takes priority over these schematic drawings. (See builder.)
- * All long span ceilings to be striped @ 2" O.C. w/ level leveling. (Optional)
- * All rafter spans to be braced @ 2' O.C. (maximum) (see eng.)
- * All ridges and beam connections to have metal clips & nailing. (see eng.)

AREAS

FIRST FLOOR LIVING (AC)	4447 SQ. FT.
SECOND FLOOR LIVING (AC)	1544 SQ. FT.
TOTAL LIVING (AC)	5991 SQ. FT.
PORCH	225 SQ. FT.
3 CAR GARAGE & STAIR	457 SQ. FT.
1 CAR GARAGE	384 SQ. FT.
PORCH 1	94 SQ. FT.
PORCH 2	135 SQ. FT.
OUTDOOR LIVING	483 SQ. FT.
TOTAL COVERAGE	8769 SQ. FT.

- GENERAL NOTES:**
- * FIRST FLOOR PLATE TO BE 10'-0" & 12'-0" AFF UNLESS NOTED
 - * SECOND FLOOR PLATE TO BE 10'-0" AFF UNLESS NOTED
 - * ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED
 - * ALL 45° & 45° UNLESS NOTED OTHERWISE
 - * ALL PLATE LINES AS NOTED ON ELEVATIONS
 - * ALL EXTERIOR WALLS TO BE 2X4 UNLESS NOTED
 - * ALL FINISHED CEILINGS @ FIRST FLOOR TO BE 10'-0" AFF UNLESS NOTED
 - * ALL FINISHED CEILINGS @ SECOND FLOOR TO BE 9'-0" AFF UNLESS NOTED
 - * ALL INTERIOR WALL, FLOOR & CEILING FINISHES AS SELECTED
 - * ALL WINDOW HDRS TO BE 8'-0" UNLESS NOTED OTHERWISE
 - * FINAL PLACEMENT OF ALL HOSE BIBBS TO BE AS SELECTED
 - * VERIFY ALL FLOOR FINISHES PRIOR TO FOUNDATION DESIGN
 - * VERIFY STRUCTURAL REFERENCE NOTES PRIOR TO FOUNDATION DESIGN & ENGINEERING BY OTHERS
 - * WATER HEATERS TO BE TANKLESS OR IN ATTIC

NOT FOR CONSTRUCTION

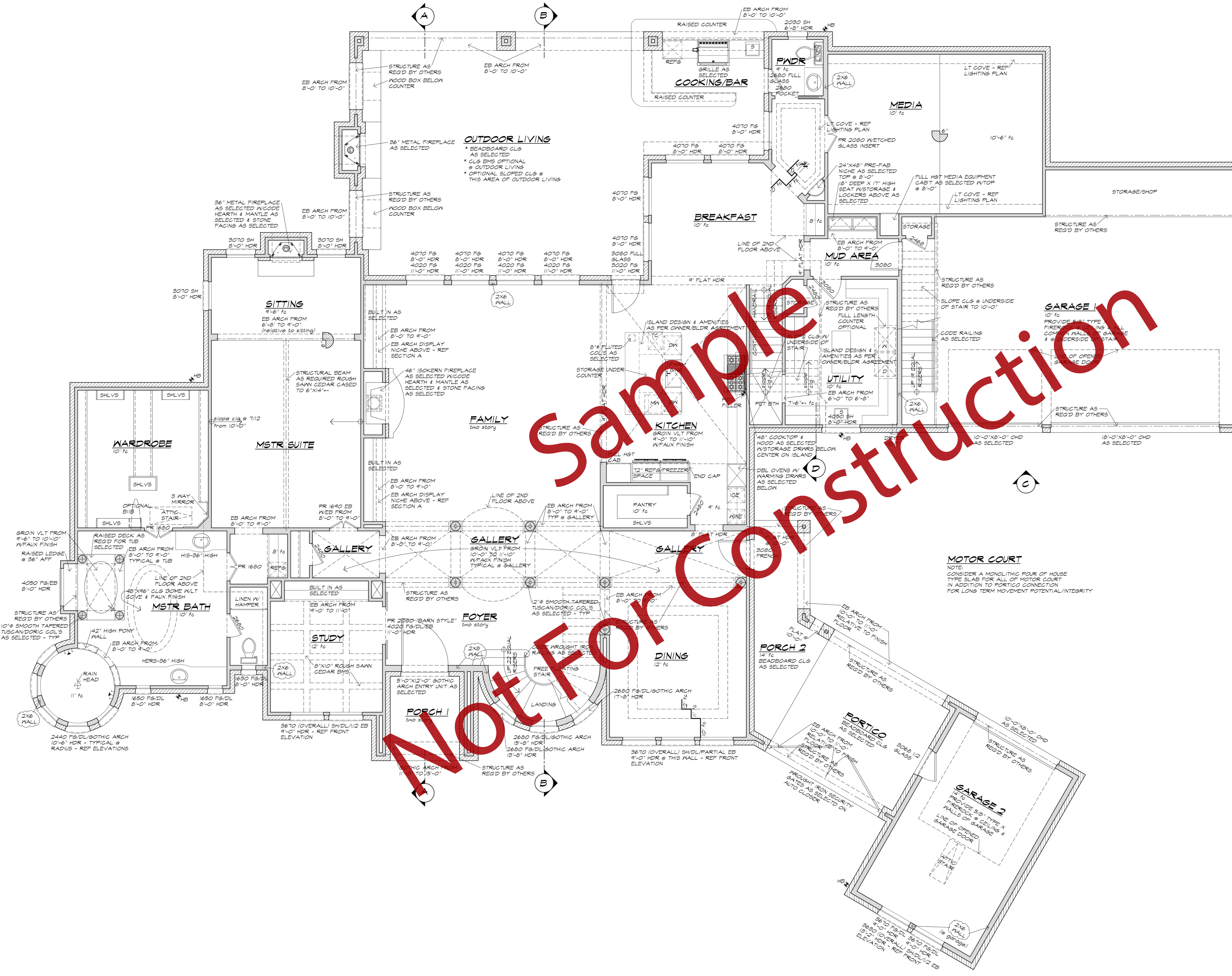
GENERAL NOTES
(Where Applicable)

- * All exterior walls to be 2x4, 2x6, 2x8, or other as noted, @16" O.C., w/ 1/2" plywood sheathing, w/ vapor barrier, unless noted otherwise. (Blocked @ Mid Span) 4 ps per code.
- * Interior walls, 2x4 @ 16" O.C., unless noted otherwise. (Blocked @ Midspan), all plumbing walls to be 2x6.
- * All metal fireplaces to be top of the line- double lined (min)- code units as per mfg. (Kigas logs optional).
- * All fireplaces to have 1/2" marble or brick hearths & facing as per builder & as selected by owner.
- * All shelving to be 3/4" W/edge supported at edges & on 4" O.C. (Bookshelves to have hidden "Recess" lighting- optional).
- * All closets to have at least one single rod & two shelves, unless noted otherwise. N/med to top hardware. Most to have 2 rods, 2 or 3 shelves, or more as per builder.
- * All exterior doors, garage, and attic doors to be weather stripped.
- * All bath, utility, water heater, & pony walls to have full insulation. (Garage common walls and ceiling when living space above.)
- * Kitchen counter tops to be Formica corian or stone w/ turned edges as selected. Kitchen cabinets to have compound hinges, edged shelves, solid panels, "Blum" type guides, special hardware, under counter lighting, all sinks w/ disposers, down-draft cook top (w/6 optional burners & w/ grill as selected). Refrigerator to have water supply w/ out-off. All plugs to be GFI. (As required by code.)
- * Stairs to have (optional) step lights as selected, continuous handrails w/ 1/2" grip & 36" high, 1" nosing w/ 4" clear spacing. Guardrails to be 42" high.
- * All bath vanities to be marble or stone (w/ optional porcelain bowls). Vanity heights from 32" to 36". All drawers and cabinet shelves to be lined. (Verify with builder.)
- * Linens to have hamper and drawer caulked, lined, waterproofed & vented for moisture. (Medicine cabinets as selected).
- * Ridges and valleys are to be braced down to proper support, on through to foundation support.
- * Ridges and valleys over 12" to be 2x12, unless noted otherwise. Ends to be cut to frame out rafters. (See builder/engineer.)
- * Garage ceiling, under stairs, water heaters & chimney drywall to be 5/8" X-sheetrock.
- * All ceiling corners at main rooms to have molding. (Verify mldg. pkg.)
- * Closet, garage, dormer windows to have optional sheers. (some with special lighting.)
- * Windows to be wood or metal double pane insulated- shown in nominal sizes, w/ extra caulking & head flashing where required. (See builder.)
- * Windowsills & casing to be wood, stone, marble, or drywall.
- * All main drywall corners to have Bull-Nose, (optional).
- * Connect gutters and down spouts to an underground drainage piping system. (Verify w/ owner and builder/engineer.)
- * All brick arches & designs w/ reinforcing & w/ type "S" mortar.
- * Brick columns to have finished wood post capitals or steel as shown. Wood columns to be set on anchored metal plinth & wall ties to brick.
- * All brick support over roofs to be designed by a Registered Texas Structural Engineer, as well as other structural members and assemblies.
- * All yard hydrants to be freeze proofed.
- * Provide high "R" ratings for all attic floors & walls. (optional)
- * All gas appliances to have code vents.
- * All water piping, condensate drains, water heaters or storage in the attic to be freeze proofed and insulated. Attic water heaters to have metal pans w/ drains.
- * Dryer vents to be outside.
- * Ceiling joists to be sized for 3/4" plywood flooring in attic as specified by builder. Stud wall support below must be sized for proper support.
- * Radiant barriers are optional.
- * Uniform cornice vents @ entire perimeter, screened w/ insulation baffled for air flow.
- * Thermostatically controlled roof vents as per mfg's recommendations, to be low rise & color coated to roof materials.
- * Framing members shown as suggested minimums. Engineering design takes priority over these schematic drawings. (See builder.)
- * All long span ceilings to be stripped 2" O.C., w/ level leveling. (optional)
- * All rafter spans to be braced 12" O.C. (maximum). (see eng.)
- * All ridges and beam connections to have metal clips & nailing. (see eng.)

AREAS

FIRST FLOOR LIVING (AC)	4447 SQ. FT.
SECOND FLOOR LIVING (AC)	1544 SQ. FT.
TOTAL LIVING (AC)	5991 SQ. FT.
PORCH 1	225 SQ. FT.
PORCH 2	94 SQ. FT.
B CAR GARAGE & STAIR	457 SQ. FT.
I CAR GARAGE	384 SQ. FT.
PORCH 1	94 SQ. FT.
PORCH 2	135 SQ. FT.
OUTDOOR LIVING	488 SQ. FT.
TOTAL COVERAGE	8769 SQ. FT.

- GENERAL NOTES:**
- * FIRST FLOOR PLATE TO BE 10'-0" & 12'-0" AFF UNLESS NOTED
 - * SECOND FLOOR PLATE TO BE 10'-0" AFF UNLESS NOTED
 - * ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED
 - * ALL 45° & 45° UNLESS NOTED OTHERWISE
 - * ALL PLATE LINES AS NOTED ON ELEVATIONS
 - * ALL EXTERIOR WALLS TO BE 2X4 UNLESS NOTED
 - * ALL FINISHED CEILINGS @ FIRST FLOOR TO BE 10'-0" AFF UNLESS NOTED
 - * ALL FINISHED CEILINGS @ SECOND FLOOR TO BE 9'-0" AFF UNLESS NOTED
 - * ALL INTERIOR WALL, FLOOR & CEILING FINISHES AS SELECTED
 - * ALL WINDOW HDRS TO BE 8'-0" UNLESS NOTED OTHERWISE
 - * FINAL PLACEMENT OF ALL HOSE BIBBS TO BE AS SELECTED
 - * VERIFY ALL FLOOR FINISHES PRIOR TO FOUNDATION DESIGN
 - * VERIFY STRUCTURAL REFERENCE NOTES PRIOR TO FOUNDATION DESIGN & ENGINEERING BY OTHERS
 - * WATER HEATERS TO BE TANKLESS OR IN ATTIC



GENERAL NOTES

(Where Applicable)

- All exterior walls to be 2x4, 2x6, 2x8, or other as noted, @16" O.C., w/ 1/2" plywood sheathing, w/ vapor barrier, unless noted otherwise. (Blocked @ Mid span) & as per code.
- Interior walls 2x4 @ 16" O.C., unless noted otherwise. (Blocked @ Midspan), all plumbing walls to be 2x6.
- All metal fireplaces to be top of the line, double lined (min.) code units as per mfg. (Nogas logs optional).
- All fireplaces to have tile, marble, or brick hearths & facing as per builder's selection by owner.
- All shelving to be 3/4" plywood, supported at edges & on 4" O.C. (Bookshelves to have hidden "Recess" lighting - optional).
- All closets to have at least one single rod & two shelves, unless noted otherwise. (Wired to top hardware. Most to have 2 rods, 2 or 3 shelves, or more as per builder).
- All exterior doors, garage, and attic doors to be weather stripped.
- All baths, utility, water heater, & party walls to have full insulation. (Damage common walls and ceiling, when living space above).
- Kitchen counter tops to be formica, corian or stone w/ rounded edges as selected. Kitchen cabinets to have compound hinges, edged shelves, solid panels, "Blum" type guides, special hardware, under counter lighting, all sink w/ splashover, down-draft cook top (w/ optional burners & w/ grill) as selected. Refrigerator to have water supply w/ cut-off. All plugs to be GFI. (As required by code).
- Stairs to have optional stop lights as selected, continuous handrails w/ 1/2" grip & 3/8" high, T nosing w/ 1/4" clear spacing, doorrails to be 42" high.
- All bath vanities to be marble or stone (w/ optional porcelain basin). Verify heights from 32" to 36". All drawers and cabinet shelves to be lined. (Verify with builder).
- Linen to have hamper and drawer caulked, lined, waterproofed & vented for moisture. (Medicine cabinets as selected).
- Ridges and valleys are to be braced down to proper support, on through to foundation support.
- Stair nosing to be 2x12, unless noted otherwise. Ends to be cut to frame out w/ rafters. (See builder/engineer).
- Garage ceiling under stairs, water heaters & chimney arshall to be 5/8" x 4x8x16.
- Closet, garage, dormer windows to have optional shears. (Some with special lighting).
- Windows to be wood or metal, double pane insulated - shown in nominal sizes, w/ extra caulking & head flashing where required. (See builder).
- Windows sills & casing to be wood, stone, marble, or drywall.
- All main drywall corners to have Bull-base (optional).
- Corner cutters and down tees to be underground drainage piping system. (Verify w/ owner and builder/engineer).
- All brick arches & designs w/ mortar & w/ pipe 1/2" mortar.
- Brick columns to have treated wood post centers, or steel as shown. Wood columns to be set on anchored metal pinth & nail ties to brick.
- All brick support over roofs to be designed by a Registered Texas Structural Engineer, as well as other structural members and assemblies.
- All yard hydrants to be freeze protected.
- Provide high "R" ratings for all attic floors & walls. (optional).
- All gas appliances to have code vents.
- All water piping condensate drains, water heaters or storage in the attic to be freeze protected and insulated. Attic water heaters to have metal pans w/ drain.
- Attic ducts should be routed around most viable attic space.
- Dryer vents to be outside.
- Ceiling joists to be sized for 3/4" plywood flooring in attic as directed by builder. Stud wall support below must be sized for proper support.
- Radiant barriers are optional.
- Uniform cornice vents @ entire perimeter, screened w/ insulation baffled for air flow.
- Thermally controlled roof vents as per mfg's recommendations, to be low rise & color coded to roof materials.
- Framing members shown are suggested minimal. Engineering design takes priority over these schematic drawings. (See builder).
- All long span ceilings to be stripped 2" O.C., w/ 1/4" leveling. (optional).
- All rafter spans to be braced 12" O.C. (maximum). (see eng).
- All ruses and beam connections to have metal clips & nailing. (see eng).

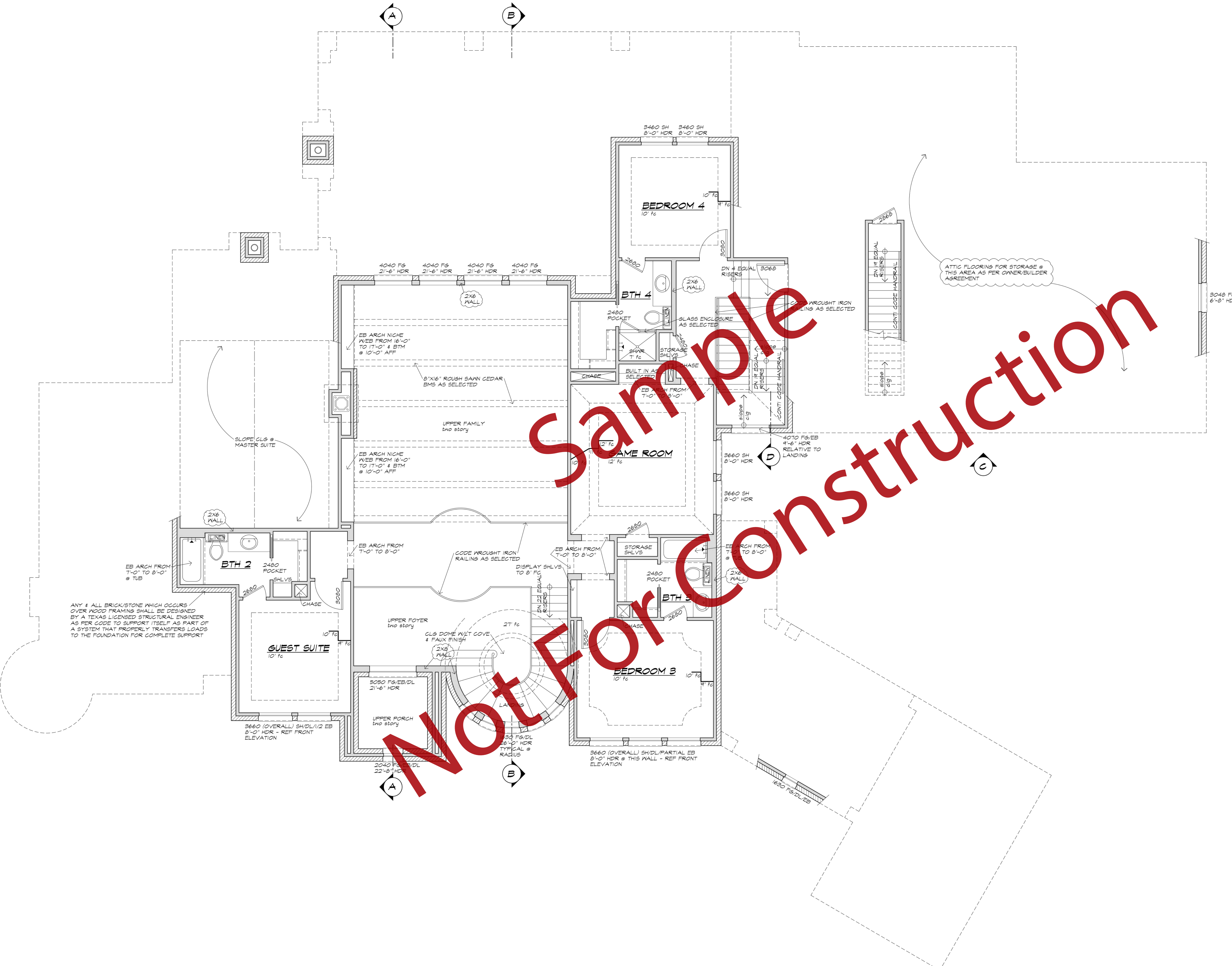
AREAS

FIRST FLOOR LIVING (AC)	4447 SQ. FT.
SECOND FLOOR LIVING (AC)	1544 SQ. FT.
TOTAL LIVING (AC)	5991 SQ. FT.
PORCH	225 SQ. FT.
3 CAR GARAGE & STAIR	457 SQ. FT.
1 CAR GARAGE	384 SQ. FT.
PORCH 1	94 SQ. FT.
PORCH 2	135 SQ. FT.
OUTDOOR LIVING	983 SQ. FT.
TOTAL COVERAGE	8764 SQ. FT.

GENERAL NOTES:

- FIRST FLOOR PLATE TO BE 10'-0" @ 12'-0" AFF UNLESS NOTED.
- SECOND FLOOR PLATE TO BE 10'-0" AFF UNLESS NOTED.
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED.
- ALL 45° @ 45° UNLESS NOTED OTHERWISE.
- ALL PLATE LINES AS NOTED ON ELEVATIONS.
- ALL EXTERIOR WALLS TO BE 2X4 UNLESS NOTED.
- ALL FINISHED CEILING @ FIRST FLOOR TO BE 10'-0" AFF UNLESS NOTED.
- ALL FINISHED CEILING @ SECOND FLOOR TO BE 9'-0" AFF UNLESS NOTED.
- ALL INTERIOR WALL, FLOOR & CEILING FINISHES AS SELECTED.
- ALL WINDOW HDRS TO BE 8'-0" UNLESS NOTED OTHERWISE.
- FINAL PLACEMENT OF ALL HOSE BIBBS TO BE AS SELECTED.
- VERIFY ALL FLOOR FINISHES PRIOR TO FOUNDATION DESIGN.
- VERIFY STRUCTURAL REFERENCE NOTES PRIOR TO FOUNDATION DESIGN & ENGINEERING BY OTHERS.
- WATER HEATERS TO BE TANKLESS OR IN ATTIC.

DATE:
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PLAN NO.
MOSLEY
ROYAL CREST
SHEET NO.



- ### GENERAL NOTES
- (Where Applicable)
- All exterior walls to be 2x4, 2x6, 2x8, or other as noted @ 16" O.C., w/ 1/2" plywood sheathing w/ water vapor barrier, unless noted otherwise. (Blocked @ Mid span) & as per code.
 - Interior walls 2x4 @ 16" O.C., unless noted otherwise. (Blocked @ Midspan), all plumbing walls to be 2x6.
 - All metal fireplaces to be top of the line double lined (min.) code units as per mfg. (Vegas logs optional).
 - All fireplaces to have tile, marble, or brick hearths & facing as per builder & as selected by owner.
 - All shelving to be 2x4 blocking supported at edges & or, 4" O.C. (Bookshelves to have hidden "Recess" lighting - optional).
 - All closets to have at least one single rod & two shelves, unless noted otherwise. Nailed to top hardware. Must have 2 rods, 2 or 3 shelves, or more as per builder.
 - All exterior doors, garage, and attic doors to be weather stripped.
 - All baths, utility, water heater, & pony walls to have full insulation. (Garage common walls and ceiling when living space above).
 - Kitchen counter tops to be formica, corian or stone w/ rounded edges as selected. Kitchen cabinets to have compound hinges, edged shelves, solid panels, Blum™ type guides, special hardware, under counter lighting, all sink w/ tapovers, down-draft cook top (w/ optional burners & w/ grill) as selected. Refrigerator to have water supply w/ out-off. All plugs to be GFI. (As required by code).
 - Stairs to have (optional) step lights as selected, continuous handrails w/ 1/2" grip & 36" high, 1" nosing w/ 4" clear spacing, handrails to be 42" high.
 - All bath vanities to be marble or stone (w/ optional porcelain bowls). Verify heights from 32" to 36". All drawers and cabinet shelves to be lined. (Verify with builder).
 - Lines to have hanger and drawer caulked, lined, waterproofed & vented for moisture. (Medicine cabinets as selected).
 - Ridges and valleys are to be braced down to proper support, on through to foundation support.
 - Close, garage, dormer windows to have optional shears. Ends to be cut to frame out w/ rafters. (See builder/engineer).
 - Garage ceiling under stairs, water heaters & chimney arysal to be 5/8" w/ sheetrock.
 - All ceiling corners at main rooms to have molding. (Verify mfg. pkg.) (Some with special lighting).
 - Windows to have hanger and drawer caulked, lined, waterproofed & vented for moisture. (Medicine cabinets as selected).
 - Windows to be wood or metal, double pane insulated - shown in original sizes, w/ extra caulking & head flashing where required. (See builder).
 - Windows sills & casing to be wood, stone, marble, or arysal.
 - All main arysal corners to have Bull-base, (optional).
 - Corner casters and down spouts to an underground drainage piping system. (Verify w/ owner and builder/engineer).
 - All brick arches & designs w/ mortar & w/ type 15 mortar.
 - Brick columns to have treated wood post centers, or steel as shown. Wood columns to be set on anchored metal plinth & nail ties to brick.
 - All brick support over roofs to be designed by a Registered Texas Structural Engineer, as well as other structural members and assemblies.
 - All yard supports to be freeze protected.
 - Provide high "R" ratings for all attic floors & walls. (optional).
 - All gas appliances to have code vents.
 - All water piping condensation drains, water heaters or storage in the attic to be freeze protected and insulated. Attic water heaters to have metal pans w/ drains.
 - A/C ducts should be routed around most usable attic space.
 - Dryer vents to be outside.
 - Ceiling joists to be sized for 3/4" plywood flooring in attic as directed by builder. Stud nail support below must be sized for proper support.
 - Resist barriers are optional.
 - Uniform cornice vents @ entire perimeter, screened w/ insulation baffled for air flow.
 - Thermatically controlled roof vents as per mfg's recommendations, to be low rise & color coded to roof materials.
 - Framing members shown are suggested minimal. Engineering design takes priority over these schematic drawings. (See builder).
 - All long span ceilings to be stripped 2" O.C., w/ 1/4" leveling. (optional).
 - All rafter spans to be braced 12" O.C. (maximum). (see eng).
 - All ridges and beam connections to have metal clips & nailing. (see eng).

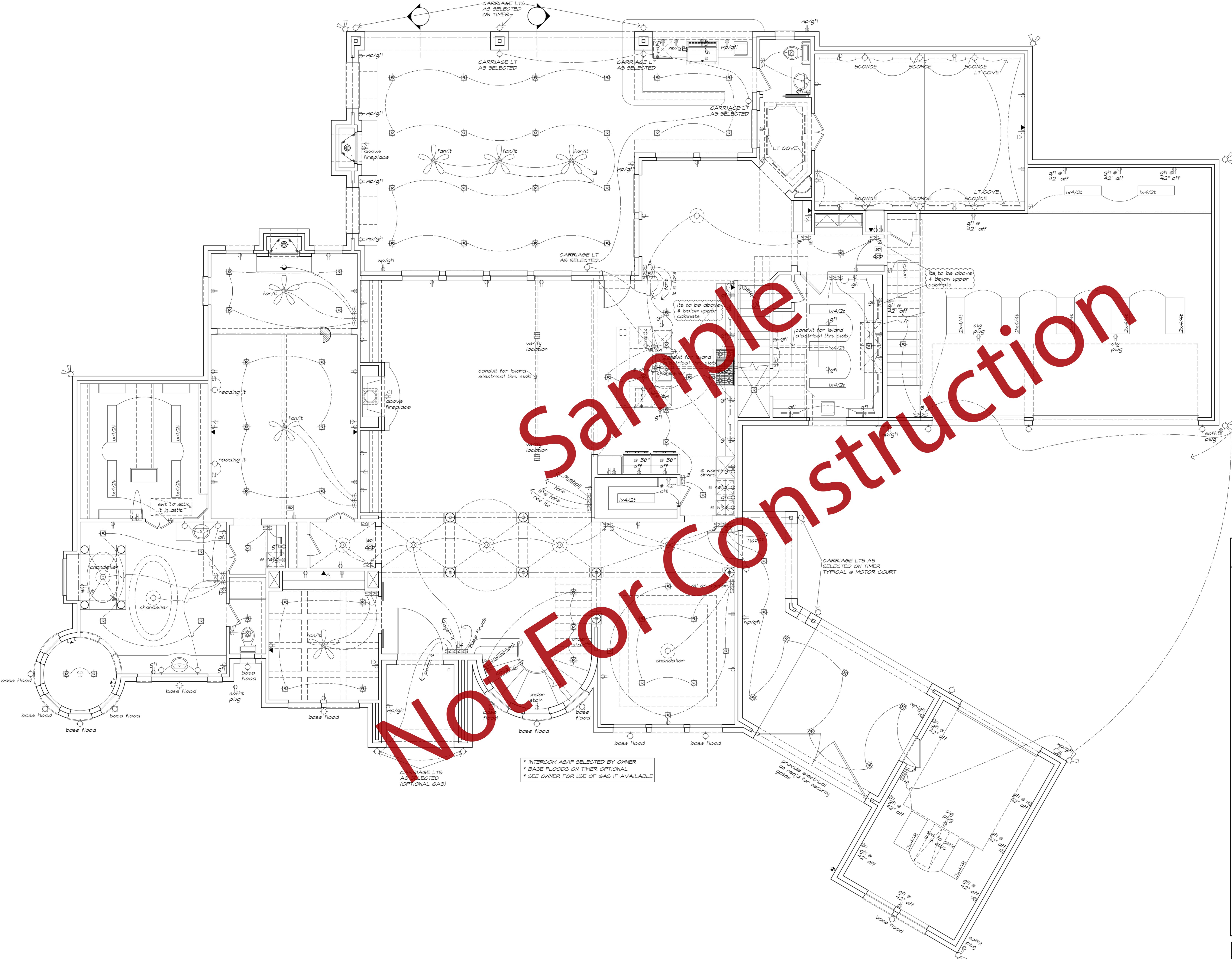
AREAS

FIRST FLOOR LIVING (AC)	4447 SQ. FT.
SECOND FLOOR LIVING (AC)	1544 SQ. FT.
TOTAL LIVING (AC)	5991 SQ. FT.
PORCH	225 SQ. FT.
3 CAR GARAGE & STAIR	457 SQ. FT.
1 CAR GARAGE	304 SQ. FT.
PORCH 1	94 SQ. FT.
PORCH 2	135 SQ. FT.
OUTDOOR LIVING	988 SQ. FT.
TOTAL COVERAGE	8769 SQ. FT.

- ### GENERAL NOTES:
- FIRST FLOOR PLATE TO BE 10'-0" & 12'-0" AFF UNLESS NOTED.
 - SECOND FLOOR PLATE TO BE 10'-0" AFF UNLESS NOTED.
 - ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED.
 - ALL 45° & 45° UNLESS NOTED OTHERWISE.
 - ALL PLATE LINES AS NOTED ON ELEVATIONS.
 - ALL EXTERIOR WALLS TO BE 2X4 UNLESS NOTED.
 - ALL FINISHED CEILING @ FIRST FLOOR TO BE 10'-0" AFF UNLESS NOTED.
 - ALL FINISHED CEILING @ SECOND FLOOR TO BE 8'-0" AFF UNLESS NOTED.
 - ALL INTERIOR WALL, FLOOR & CEILING FINISHES AS SELECTED.
 - ALL WINDOW HDRS TO BE 8'-0" UNLESS NOTED OTHERWISE.
 - FINAL PLACEMENT OF ALL HOSE BIBBS TO BE AS SELECTED.
 - VERIFY ALL FLOOR FINISHES PRIOR TO FOUNDATION DESIGN.
 - VERIFY STRUCTURAL REFERENCE NOTES PRIOR TO FOUNDATION DESIGN & ENGINEERING BY OTHERS.
 - WATER HEATERS TO BE TANKLESS OR IN ATTIC.

ANY & ALL BRICK/STONE WHICH OCCURS OVER WOOD FRAMING SHALL BE DESIGNED BY A TEXAS LICENSED STRUCTURAL ENGINEER AS PER CODE TO SUPPORT ITSELF AS PART OF A SYSTEM THAT PROPERLY TRANSFERS LOADS TO THE FOUNDATION FOR COMPLETE SUPPORT

ATTIC FLOORING FOR STORAGE @ THIS AREA AS PER OWNER/BUILDER AGREEMENT



NOT FOR CONSTRUCTION

• INTERCOM AS/IF SELECTED BY OWNER
 • BASE FLOODS ON TIMER OPTIONAL
 • SEE OWNER FOR USE OF GAS IF AVAILABLE

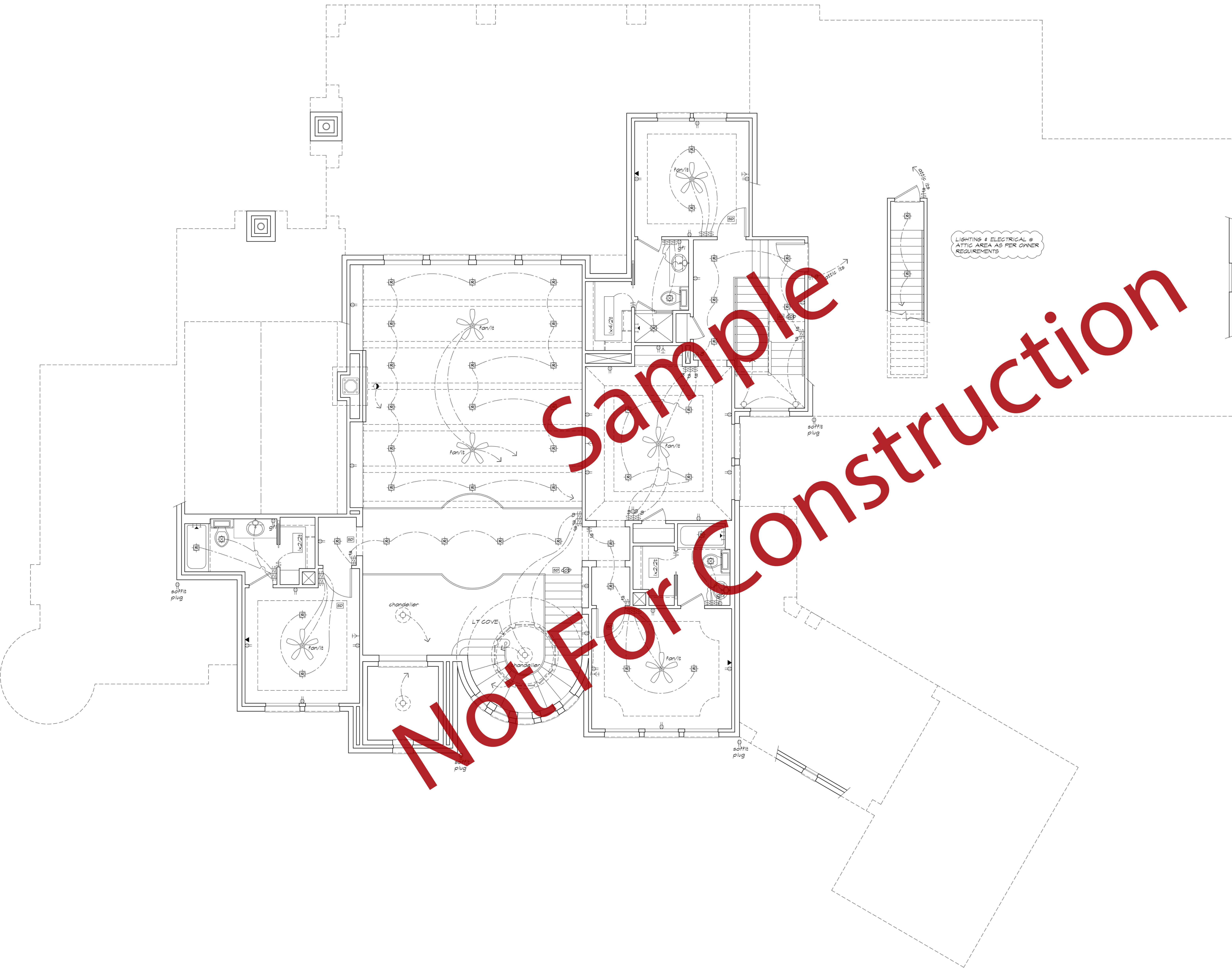
LIGHTING & ELECTRICAL LEGEND (WHERE APPLICABLE)	
	EYEBALL SPOT LIGHT
	SWITCH
	RECESSED SPOT LIGHT
	RECESSED LIGHT
	SURFACE MOUNT LIGHT
	CEILING HEATER
	RECESSED EXHAUST FAN
	SURFACE MOUNTED WALL LIGHT
	HANGING LIGHT
	110 RECEPTACLE
	220 RECEPTACLE
	WEATHER PROOFED GROUND FAULT INTERRUPTER
	GROUND FAULT INTERRUPTER
	FLOOR DUPLEX RECEPTACLE
	DUPLEX RECEPTACLE OUTLET
	SPLIT-WIRED
	TELEPHONE
	TV OUTLET
	INTERCOM SPEAKER
	INTERCOM MASTER PANEL
	SMOKE DETECTOR
	PUSH BUTTON TO CHIME
	DOOR CHIME
	FLUSH MOUNTED FLUORESCENT LIGHT
	UNDER CABINET FLUORESCENT LIGHT FIXTURE
	DOUBLE FLOOD LIGHT ASSEMBLY
	SINGLE FLOOD LIGHT ASSEMBLY
	CEILING FAN ONLY UNLESS NOTED
	CARBON MONOXIDE DETECTOR
	TRACT LIGHT
NOTE • ALL FIXTURES NOTED IN THIS LEGEND MAY BE MULTIPLE & ARE TO BE AS PER OWNER/BUILDER AGREEMENT	

ELECTRICAL NOTES
 THIS ELECTRICAL LAYOUT IS SCHEMATIC ONLY!
 VERIFY ALL ELECTRICAL REQUIREMENTS INCLUDING ENGINEERING AND CODE, SMOKE DETECTORS, EXTERIOR POOL, COAX, DEDICATED LINES, INTERCOM SECURITY, TV/MUSIC, ACCENT, LOW VOLTAGE, MASTER CONTROLS, COMPUTER INTERFACING, AND ALL SELECTIONS OF TYPE, SIZE, AND STYLE OF FIXTURES.

FIRST FLOOR LIGHTING & ELECTRICAL PLAN

SCALE 1/4"=1'-0"
 NOTE:
 FINAL SELECTION & PLACEMENT OF ALL INTERIOR & EXTERIOR LIGHTING & ELECTRICAL AS PER BUILDER/OWNER AGREEMENT

DATE:
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 PLAN NO.
 MOSLEY
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 SHEET NO.



LIGHTING & ELECTRICAL @ ATTIC AREA AS PER OWNER REQUIREMENTS

NOT FOR CONSTRUCTION

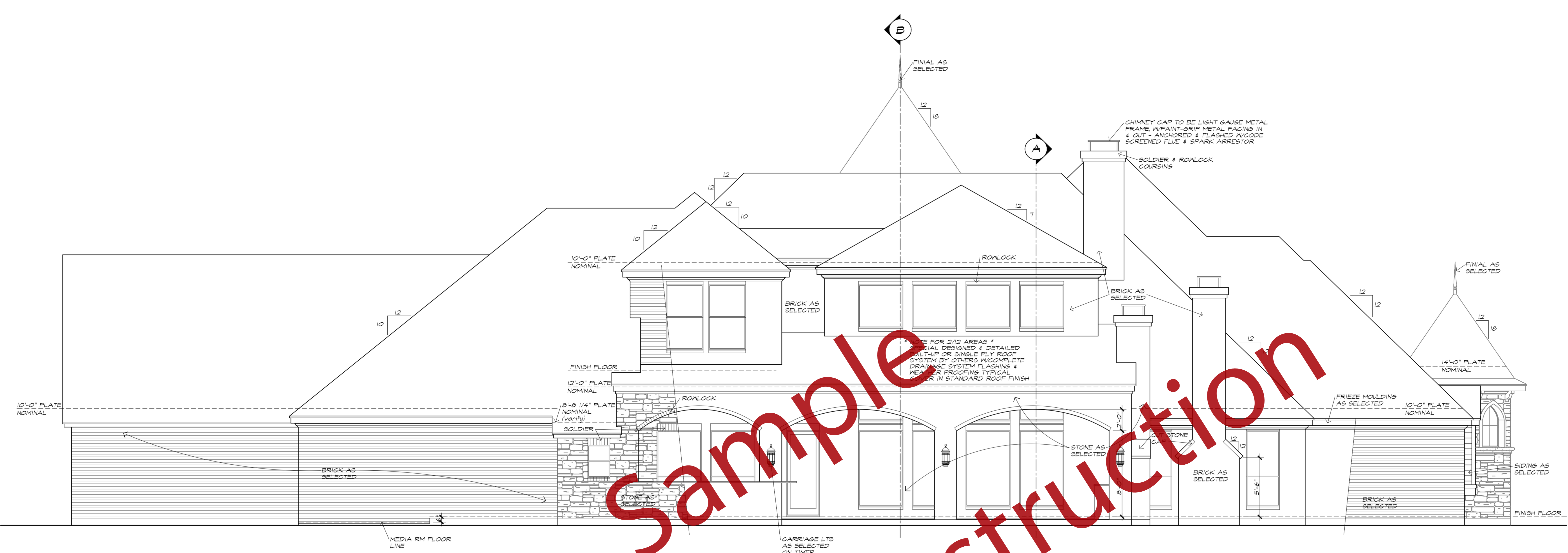
LIGHTING & ELECTRICAL LEGEND (WHERE APPLICABLE)	
	EYEBALL SPOT LIGHT
	SWITCH
	RECESSED SPOT LIGHT
	RECESSED LIGHT
	SURFACE MOUNT LIGHT
	CEILING HEATER
	RECESSED EXHAUST FAN
	SURFACE MOUNTED WALL LIGHT
	HANGING LIGHT
	110 RECEPTACLE
	220 RECEPTACLE
	WEATHER PROOFED GROUND FAULT INTERRUPTER
	GROUND FAULT INTERRUPTER
	FLOOR DUPLEX RECEPTACLE
	DUPLEX RECEPTACLE OUTLET
	SPLIT-WIRED
	TELEPHONE
	TV OUTLET
	INTERCOM SPEAKER
	INTERCOM MASTER PANEL
	SMOKE DETECTOR
	PUSH BUTTON TO CHIME
	DOOR CHIME
	FLUSH MOUNTED FLUORESCENT LIGHT
	UNDER CABINET FLUORESCENT LIGHT FIXTURE
	DOUBLE FLOOD LIGHT ASSEMBLY
	SINGLE FLOOD LIGHT ASSEMBLY
	CEILING FAN ONLY UNLESS NOTED
	CARBON MONOXIDE DETECTOR
	TRACT LIGHT
<p>NOTE * ALL FIXTURES NOTED IN THIS LEGEND MAY BE MULTIPLE & ARE TO BE AS PER OWNER/BUILDER AGREEMENT</p>	

ELECTRICAL NOTES
 THIS ELECTRICAL LAYOUT IS SCHEMATIC ONLY!
 VERIFY ALL ELECTRICAL REQUIREMENTS INCLUDING ENGINEERING AND CODE, SMOKE DETECTORS, EXTERIOR POOL, COAX, DEDICATED LINES, INTERCOM/SECURITY, TV/MUSIC, ACCENT LOW VOLTAGE, MASTER CONTROLS, COMPUTER INTERFACING, AND ALL SELECTIONS OF TYPE, SIZE, AND STYLE OF FIXTURES.

SECOND FLOOR LIGHTING & ELECTRICAL PLAN

SCALE 1/4"=1'-0"
 NOTE: FINAL SELECTION & PLACEMENT OF ALL INTERIOR & EXTERIOR LIGHTING & ELECTRICAL AS PER BUILDER/OWNER AGREEMENT

DATE: 09/14/2022
 PLAN NO. MOSLEY
 ROYAL CREST
 SHEET NO. 6



REAR ELEVATION

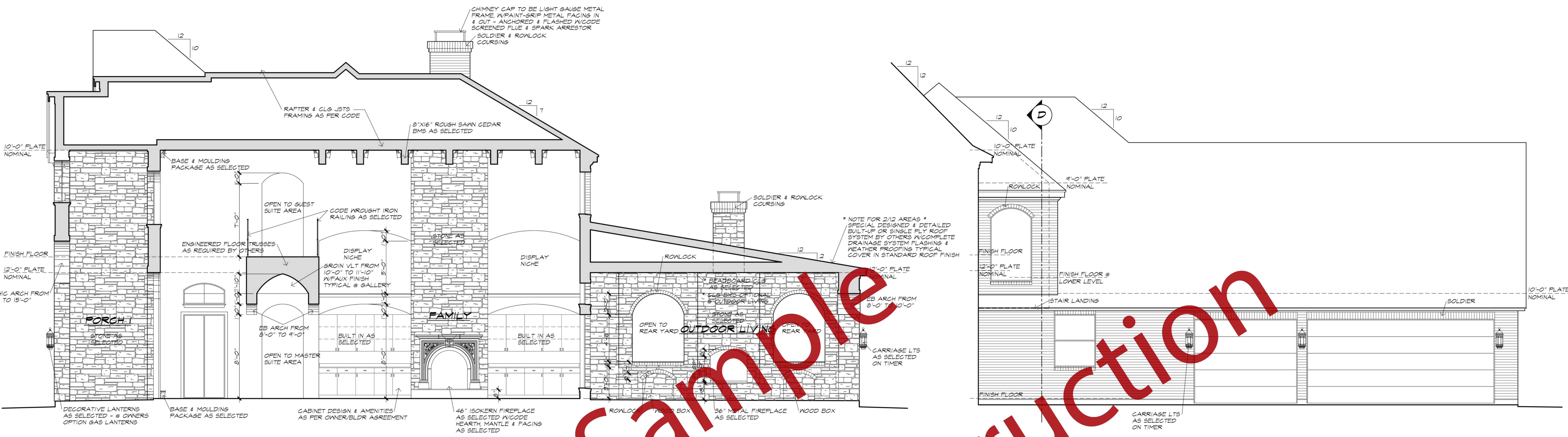
SCALE 1/4"=1'-0"



FRONT ELEVATION

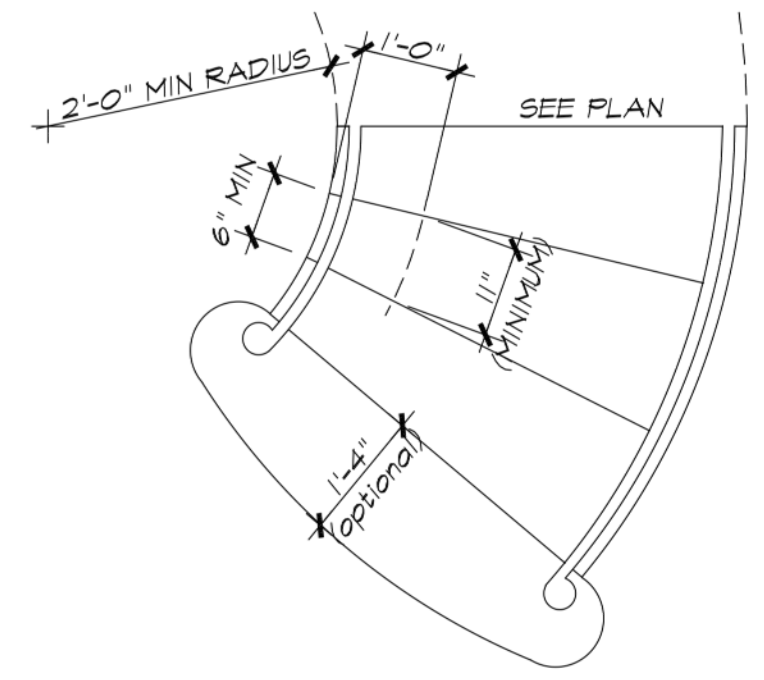
SCALE 1/4"=1'-0"

DATE: 09/14/2022
 PLAN NO. MOSLEY
 ROYAL CREST
 SHEET NO.

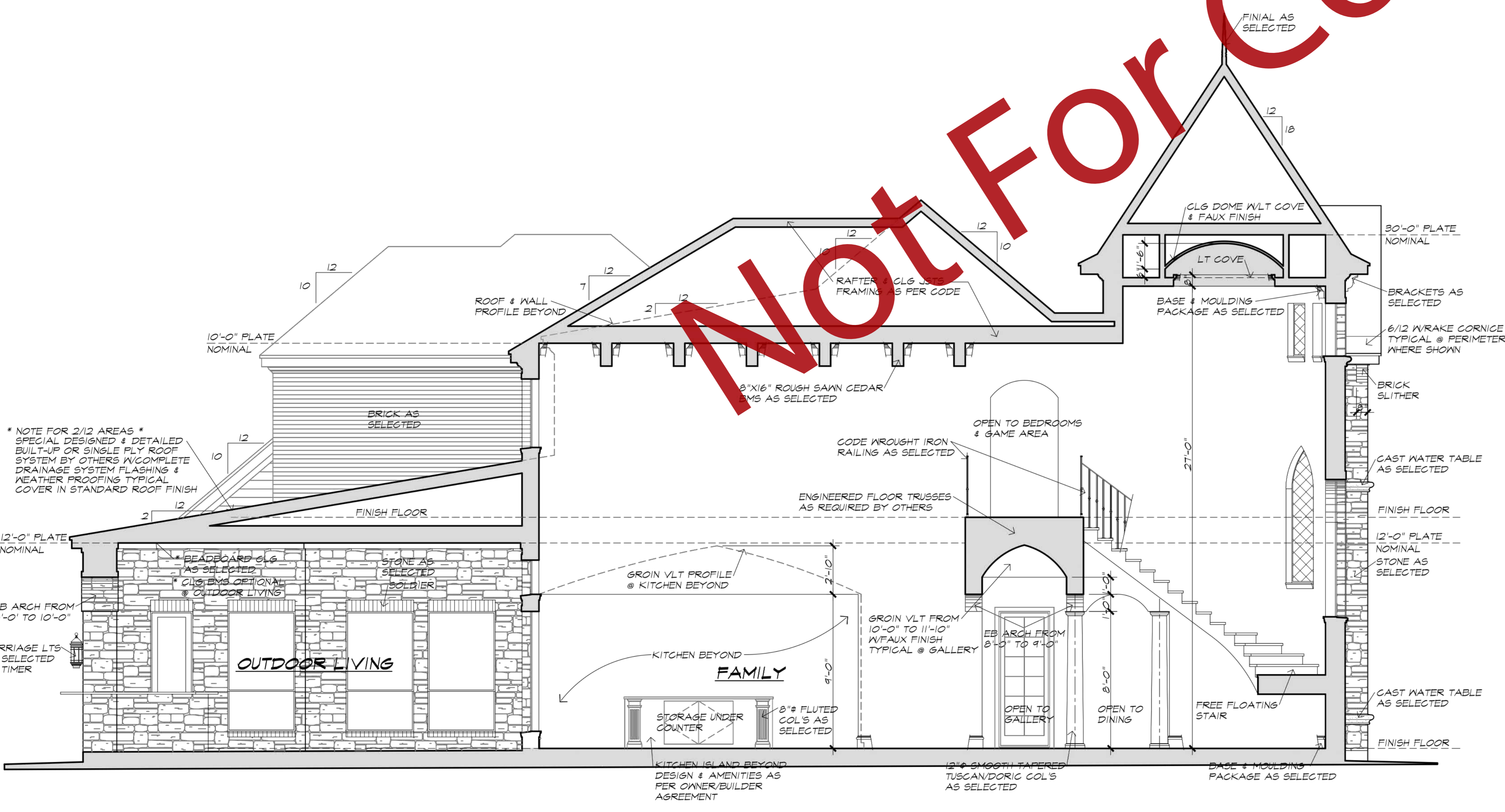


SCHEMATIC SECTION A
SCALE 1/4"=1'-0"

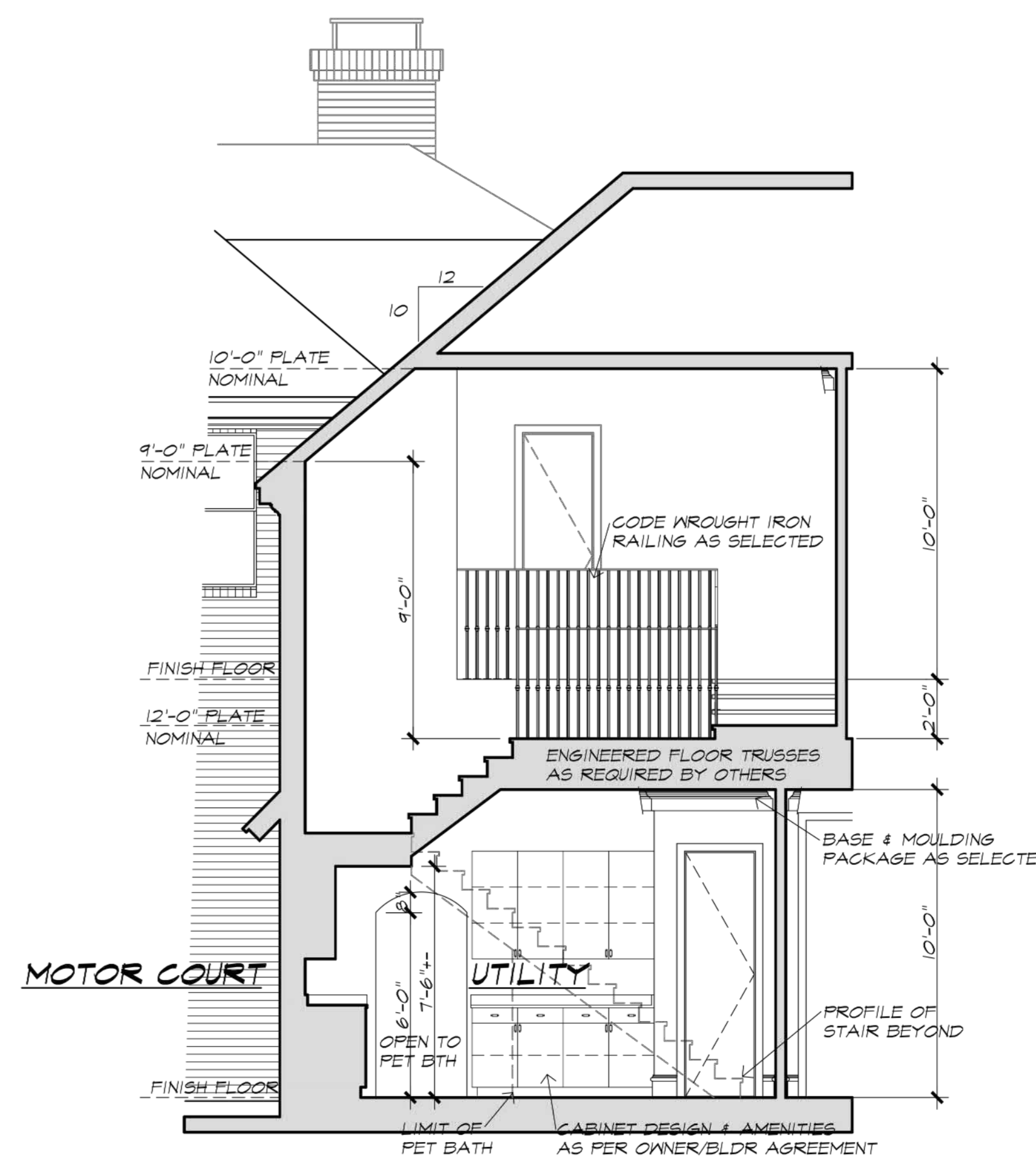
PARTIAL ELEVATION C
SCALE 1/4"=1'-0"
@ MOTOR COURT



CODE STAIR DETAIL
(SEE PLAN FOR COMPLETE STAIR)
SCALE 1/2"=1'-0"

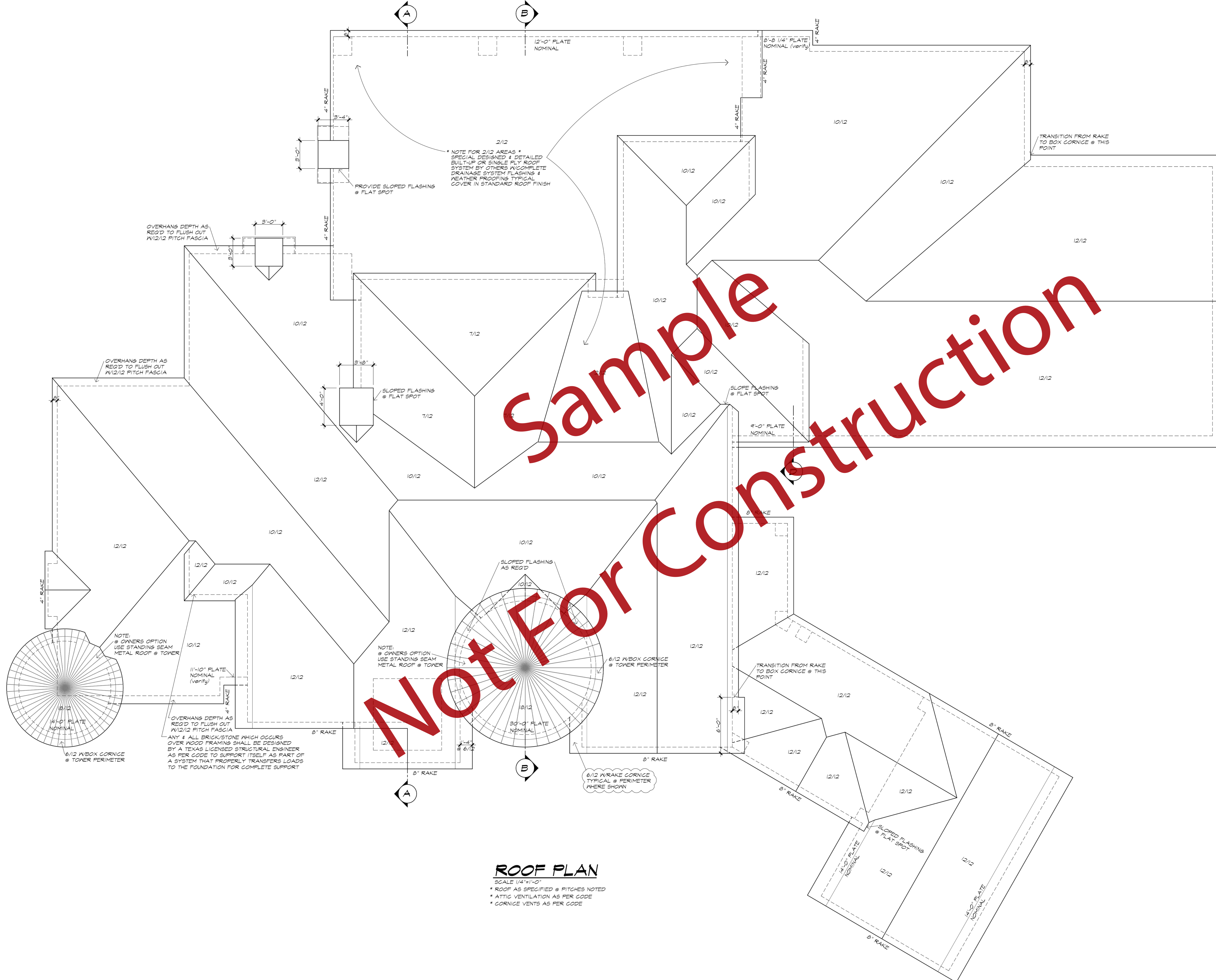


SCHEMATIC SECTION B
SCALE 1/4"=1'-0"



SCHEMATIC SECTION D
SCALE 1/4"=1'-0"

Not For Construction



Sample
 Not For Construction

ROOF PLAN

SCALE 1/4"=1'-0"
 * ROOF AS SPECIFIED @ PITCHES NOTED
 * ATTIC VENTILATION AS PER CODE
 * GORNICIE VENTS AS PER CODE

DATE:
 09/14/2022
 PLAN NO.
 MOSLEY
 ROYAL CREST
 SHEET NO.